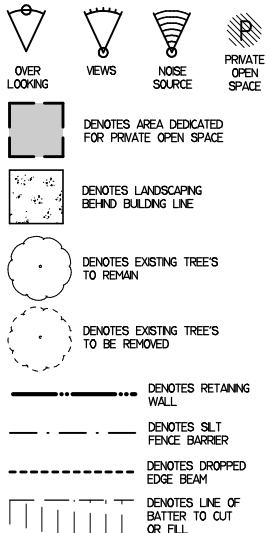


SITE ANALYSIS KEY



GENERAL NOTES

STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT AS REQUIRED OR NOMINATED

SEWER TO LOCAL AUTHORITIES REQUIREMENTS.

ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER.

FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO A&N DESIGN BEFORE PROCEEDING

STRUCTURAL ELEMENTS SHOWN ON PLANS ARE TO BE USED AS A GUIDE ONLY. FINAL LOCATIONS AND SIZES OF STRUCTURAL ELEMENTS TO BE AS PER ENGINEER'S AND/OR MANUFACTURER'S SPECIFICATIONS. ANY DISCREPANCIES ARE TO BE CHECKED AND VERIFIED BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

ALL KITCHEN AND JOINERY ELEMENTS SHOWN ON PLANS ARE TO BE USED AS A GUIDE ONLY. FINAL DESIGN, SELECTIONS AND SIZES TO BE AS PER JOINERY PLANS PREPARED BY OTHERS. ANY DISCREPANCIES ARE TO BE CHECKED AND VERIFIED BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

SITE CLASSIFICATION H

CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL 22.55 GARAGE TO RL 22.55

HOUSE FLOOR LEVEL RL 22.9 385MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL 22.84. 295MM ABOVE PLATFORM LEVEL

ROOF AREA: 232.8 SQM

SITE DATA

SITE AREA = 696.7 SQM

FLOOR SPACE RATIO PERMISSIBLE = 50% OR 348.3 SQM PROVIDED = 260 SQM

LANDSCAPE AREA REQUIRED = 4.5% OR 31.3 SQM PROVIDED = 64.2% OR 44.7 SQM

PRIVATE OPEN SPACE REQUIRED = 80 SQM PROVIDED = 354.3 SQM

BUILDING HEIGHTS

CEILING LEVEL RL 28.29

RIDGE LEVEL RL 30.6

MAX BUILDING HEIGHT PERMISSIBLE = 9000 MM PROVIDED = 8100 MM

FLOOR AREAS

GROUND FLOOR AREA= 134 SQM (NOT INCLUDING GARAGE)

GARAGE FLOOR AREA= 33.4 SQM

PORCH FLOOR AREA= 8J SQM

ALFRESCO FLOOR AREA= 33.6 SQM

FIRST FLOOR AREA= 137.8 SQM

TOTAL FLOOR AREA= 346.9 SQM OR 37.3 SQS

haden brae homes

LEVEL 4, 2 BURSAR PLACE, NORTHWEST NSW 2533 TEL: 02 8659 5700

FOR MR C. A. TSONIS & MRS V. TSONIS

AT LOT 6, NO.90 BEACONSFIELD ST. REVESSY

TYPE FORSYTH 33 (GUEST SUITE A & PERSONAL ENSUITE)

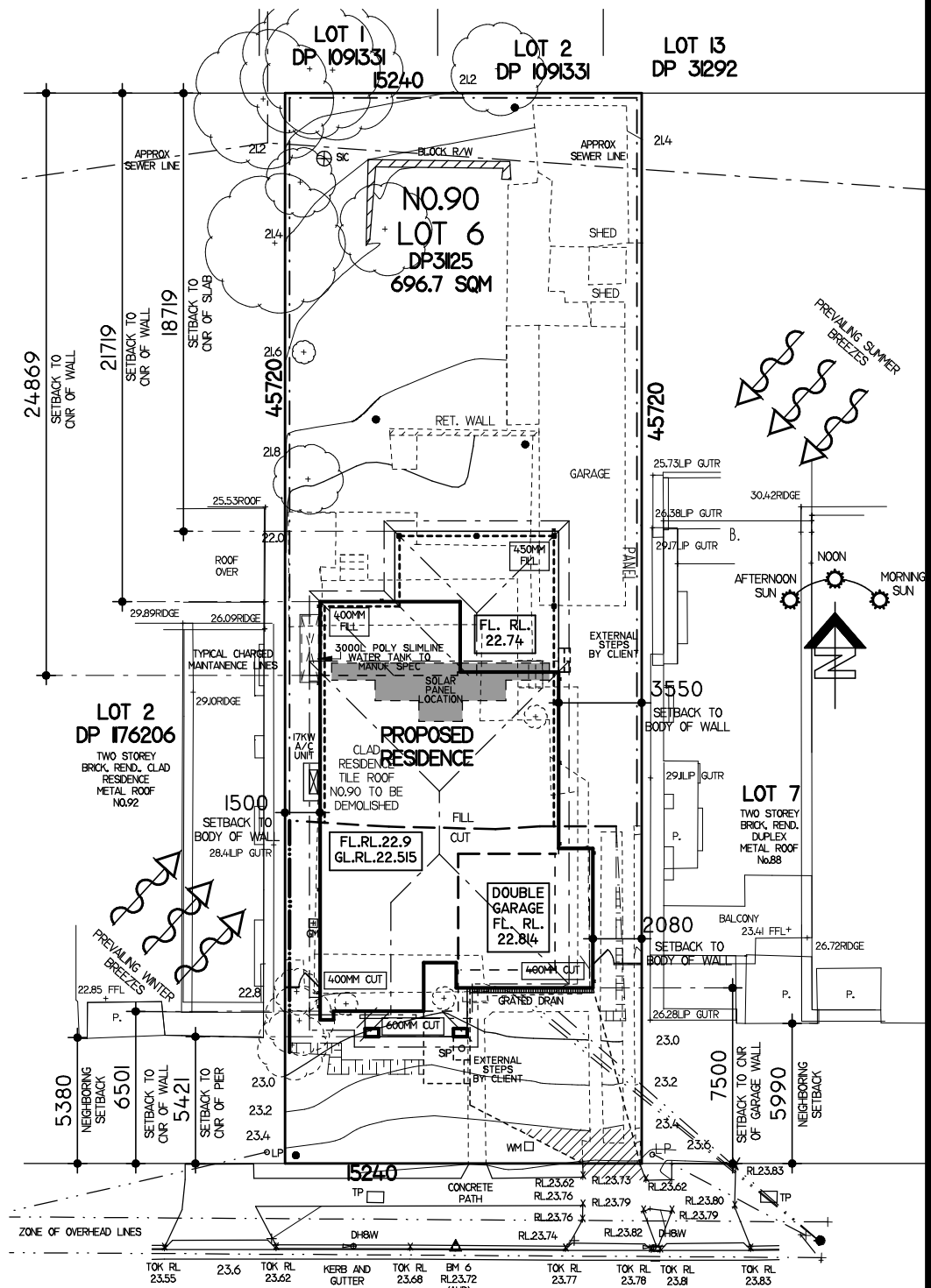
FACADE HAMPTON (ADVANTAGE SERIES)

MASTER AND-33694

JOB NO. 0028376

HAND RH

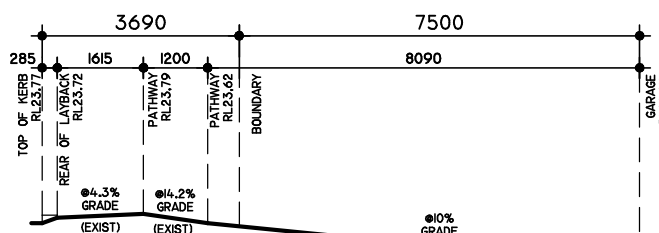
PAGE NO. 1 OF 14



BEACONSFIELD STREET

SITE ANALYSIS & SITE PLAN 1:200

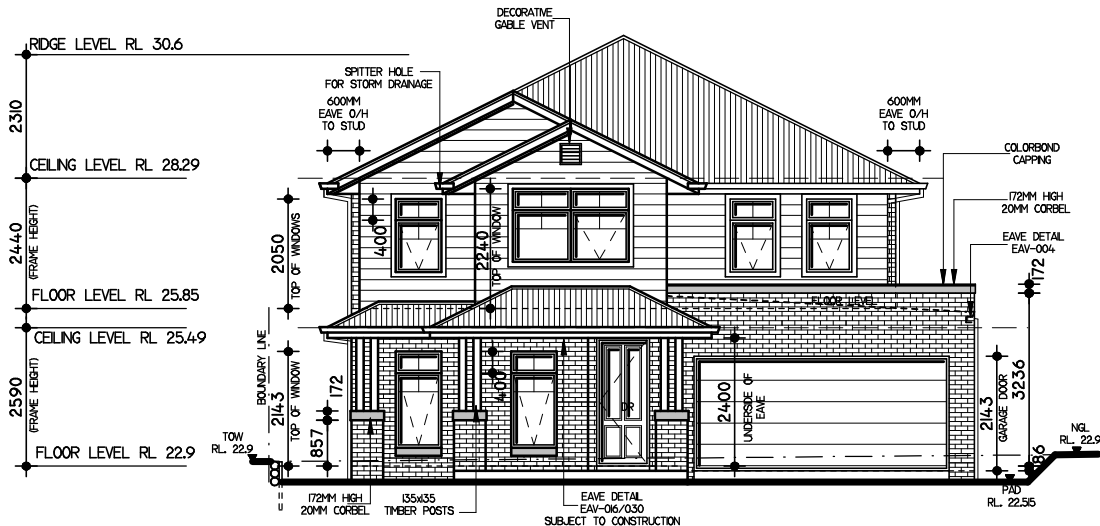
PROVIDE SOLAR ELECTRICITY SYSTEM INCLUDING INSTALLATION & CONNECTION TO METER BOX. ADDITIONAL METER CHARGES/ INSTALLATION FEES MAYBE CHARGED BY YOUR DISTRIBUTION COMPANY. THE CLIENT ACKNOWLEDGES THAT THEY MUST ASSIGN THEIR RENEWABLE ENERGY CERTIFICATES (RECS) TO THE DESIGNATED SUPPLIER AT COLOUR SELECTION STAGE. FINAL PANEL LOCATION TO BE DETERMINED BY THE PANEL SUPPLIER



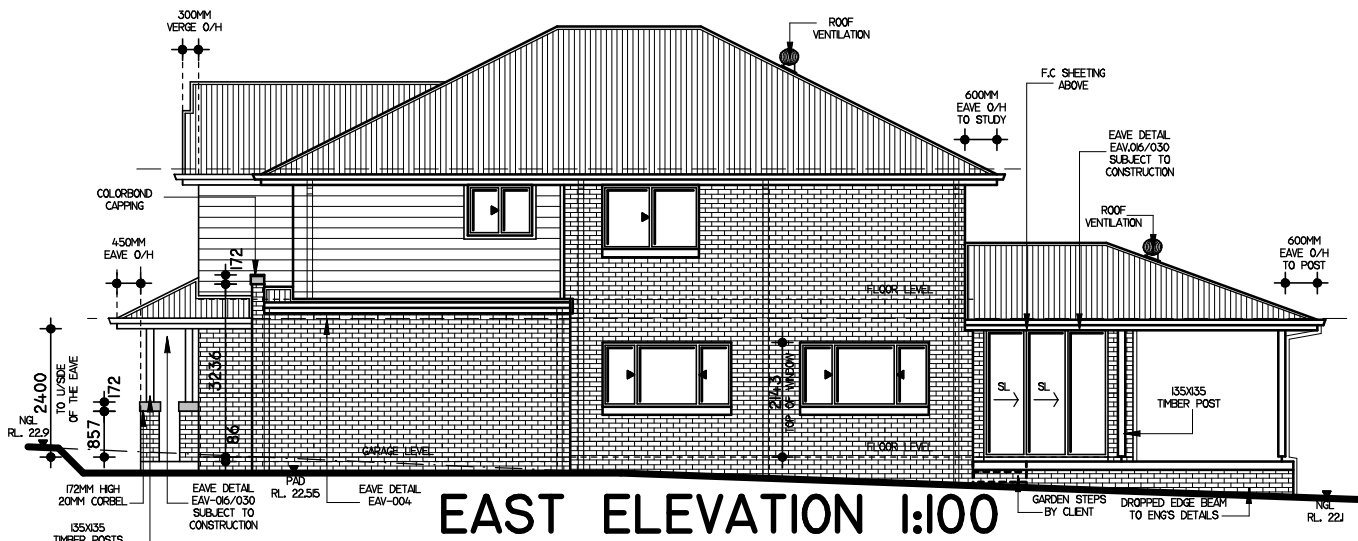
DRIVEWAY PROFILE 1:100

ISSUE	DATE	REVISION	DRAWN
A	9.8.24	SITING	JK
B	16.0.24	CC PLAN	NC
C	28.0.24	BASIX/AMEND	CS
D	3.03.25	HYDRAULICS	MS
E	20.03.25	AMEND/BASIX/ ELEV SHAD	CS/DP

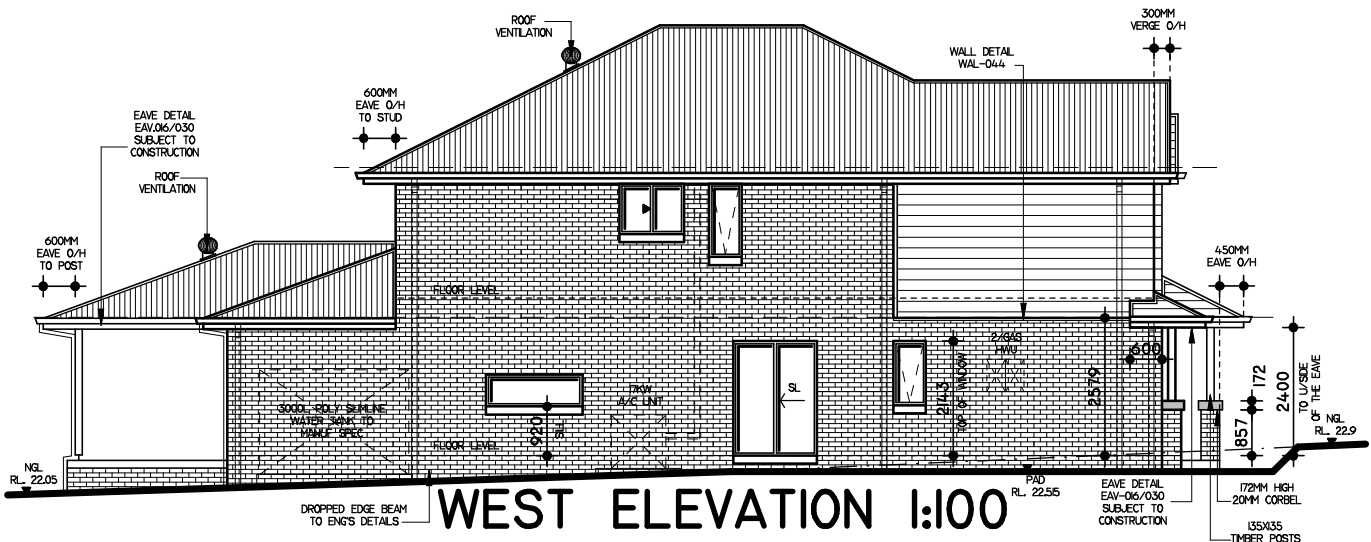
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SOUTH ELEVATION 1:100



EAST ELEVATION 1:100



WEST ELEVATION 1:100

beden brae homes

LEVEL 4, 2 BURGANK PLACE
NORWICH NSW 253
TEL: (02) 8859 5700

FOR MR C. A. TSONIS & MRS V. TSONIS
AT LOT 6, NO.90 BEACONSFIELD ST. REVESBY

TYPE FORSYTH 33 (GUEST SUITE A & PERSONAL ENSUITE)
FACADE HAMPTON (ADVANTAGE SERIES)

MASTER AND-33694
DWG NO. AND-38618
PAGE NO. 4 OF 14

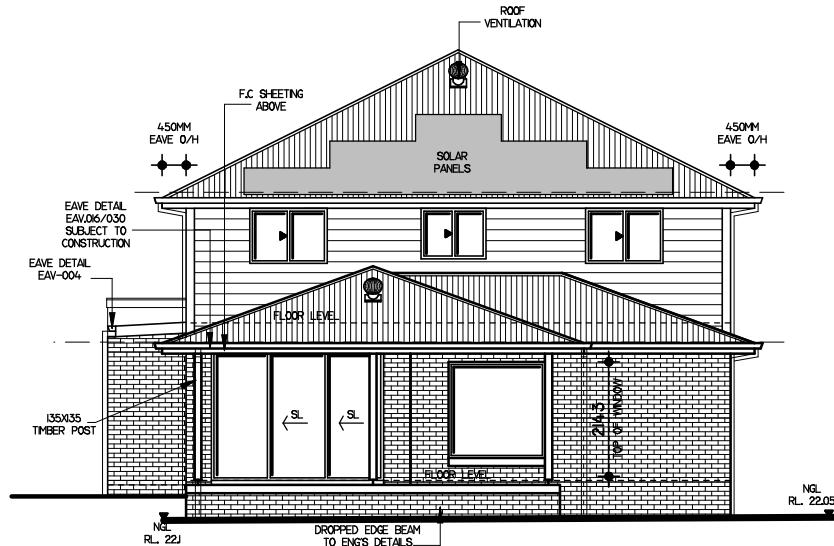
JOB NO. 0028376
HAND RH

a&n 25-27 SOLENT CIRCLE, NORWICH - LEVEL 2 SUITE 206 - MACARTHUR POINT
PHONE: (02) 8824 3333
WWW.ANDDESIGN.COM.AU

ISSUE	DATE	REVISION	DRAWN
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C	28.1.24	BASIX/AMEND	CS
D	3.03.25	HYDRAULICS	MS
E	20.03.25	AMEND/BASIX/ELEV SHAD	CS/DP

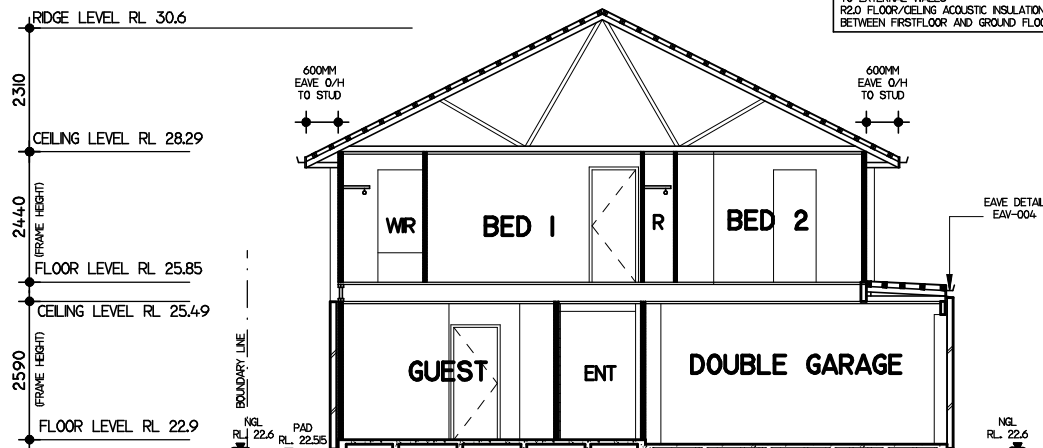
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NORTH ELEVATION 1:100

NOTES
 ROOF VENTILATION
 ROOF SARKING
 THERMASEAL WALL WRAP TO EXTERNAL WALLS
 R2.0 FLOOR/CEILING ACOUSTIC INSULATION BETWEEN FIRST FLOOR AND GROUND FLOOR



SECTION A-A 1:100

SUMMARY OF MATERIALS

- 26.5° ROOF PITCH COLORBOND ROOF SHEETING TO UPPER ROOF
- 20° ROOF PITCH COLORBOND ROOF SHEETING TO LOWER REAR ROOF
- 3° ROOF PITCH COLORBOND ROOF SHEETING TO GARAGE ROOF
- COLORBOND GUTTER & FASCIA
- CHARGED PVC DOWNPIPES TO BE PAINTED
- PRE-FABRICATED TERMITE RESISTANT HYBRID ADVANCED FRAMING SYSTEM & T2 TREATED PINE ROOF TRUSSES & FRAMES TO ENTIRE TOP FLOOR TO MANUFACTURES SPECIFICATIONS
- DIMENSIONS ARE TO FRAME SIZES ONLY EXCLUDES GYPROCK & SKIRTINGS THEREFORE THEY ARE NOT FINISHED ROOM SIZES
- FACE BRICKWORK
- CLADDING FINISH
- RENDERED & PAINTED FINISH AS SELECTED
- TIMBER POSTS TO BE PAINT GRADE & FINISH
- GABLE VENTS
- ALUMINIUM WINDOWS & DOORS
- FRONT ENTRY DOOR & FRAME TO BE PAINT GRADE & FINISH
- SECTIONAL OVERHEAD GARAGE DOOR

eden brae homes		LEVEL 4, 2 BURBANK PLACE NORWEST NSW 2653 TEL: (02) 8659 5700	
FOR MR C. A. TSONIS & MRS V. TSONIS		UBD610 HAP271 REV54 REF02	
LOT 6, NO.90 BEACONSFIELD ST. REVESBY		DP3825	
TYPE FORSYTH 33 (GUEST SUITE A & PERSONAL ENSUITE)		JOB NO. 0028376	
FACADE HAMPTON (ADVANTAGE SERIES)		HAND RH	
MASTER AND-33694		DWG NO. AND-38618	
PAGE NO. 5 OF 14			

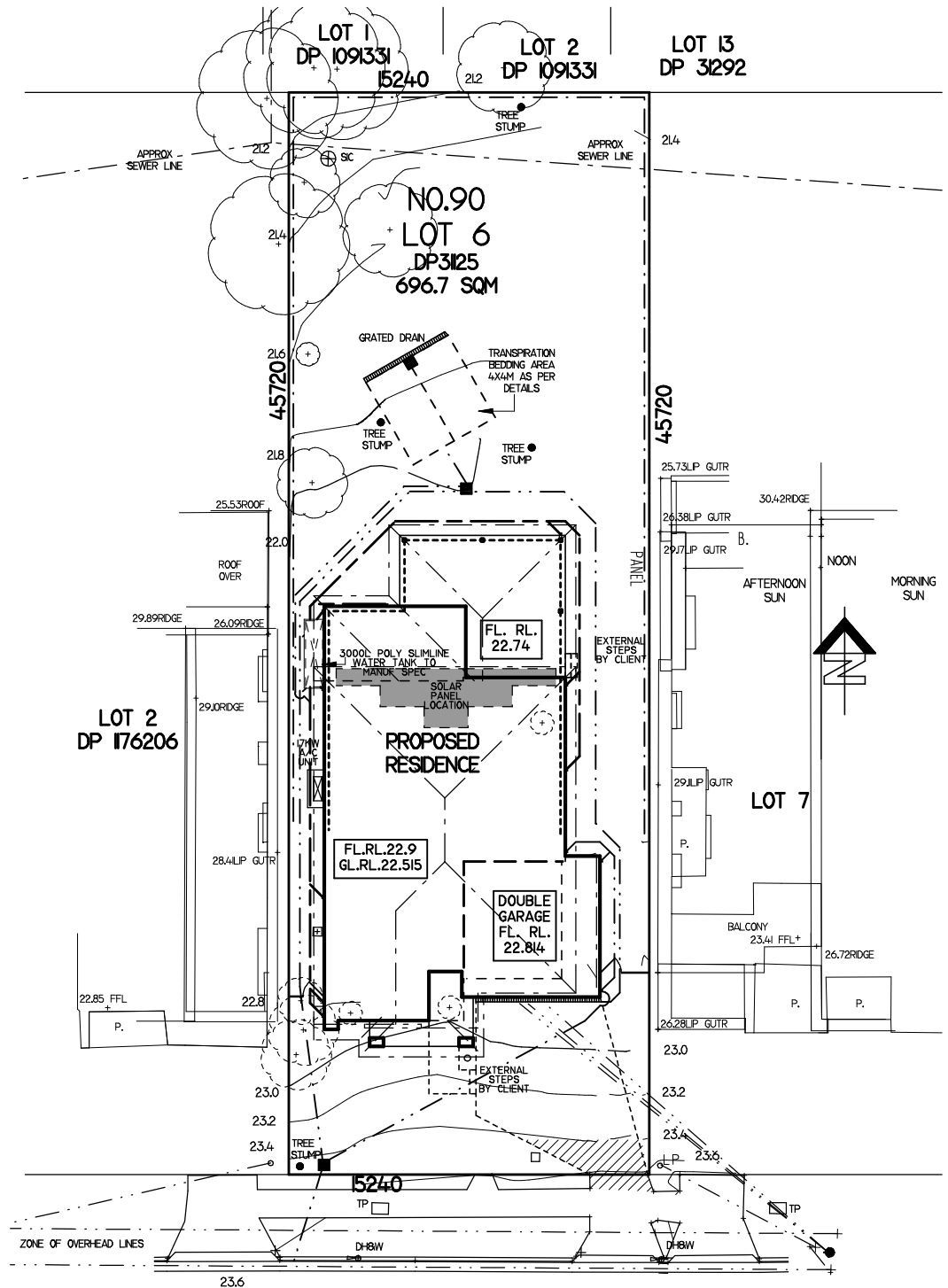
a&n		25-27 SOLENT CIRCUIT, NORWEST - LEVEL 2 SUITE 26 - MACARTHUR POINT PHONE: (02) 8654 3533 WWW.ANDDESIGN.CO.NZ	
ISSUE	DATE	REVISION	DRAWN
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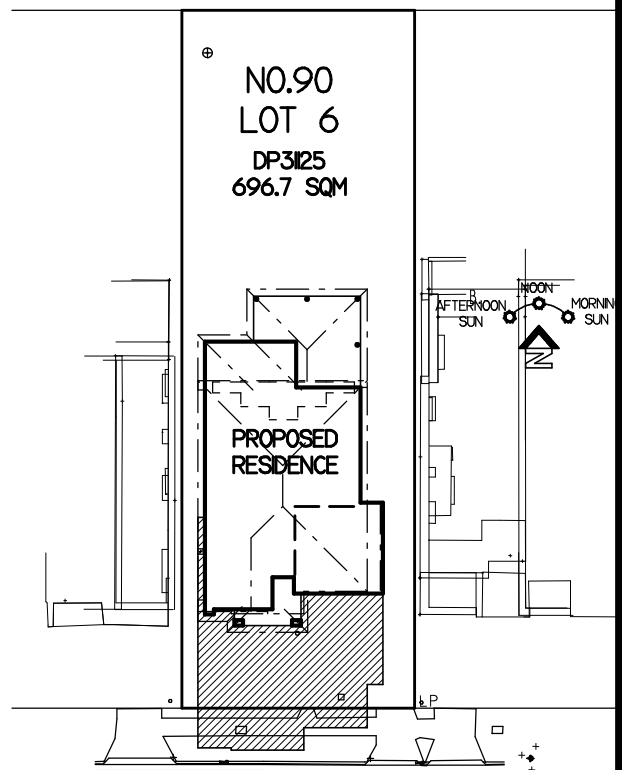
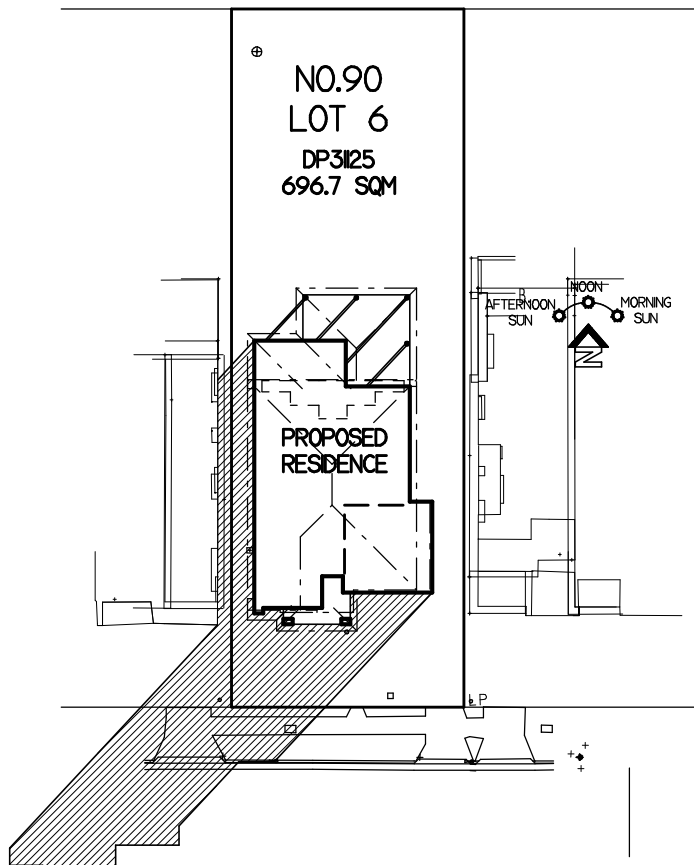
STORMWATER LEGEND

(TANK & HYDRAULICS)

DENOTES STORMWATER TO BE DIRECTED INTO RAINWATER TANK FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER

DENOTES STORMWATER TO BE DIRECTED AS PER HYDRAULIC ENGS PLANS.

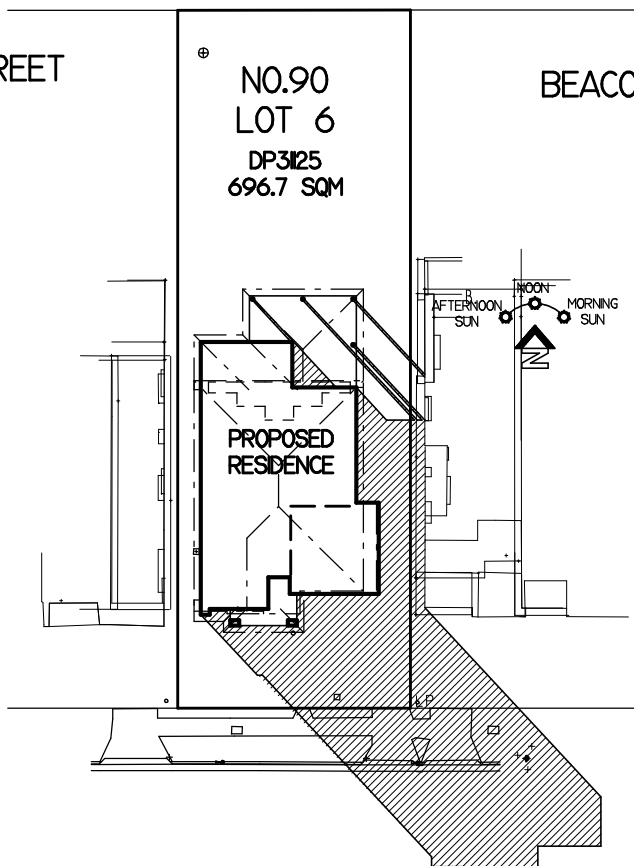




BEACONSFIELD STREET
9AM

NO.90
LOT 6
DP3125
696.7 SQM

BEACONSFIELD STREET
12PM



BEACONSFIELD STREET

3PM

SHADOW DIAGRAMS

JUNE 21ST MID-WINTER 1:350

haden brae homes		LEVEL 4, 2 BURBANK PLACE NORMAN NSW 253 TEL: 02 859 5700	
FOR MR C. A. TSONIS & MRS V. TSONIS		LBD/ND HARDEN REVIS REFOR	
AT LOT 6, NO.90 BEACONSFIELD ST. REVESEY		DP325	
TYPE FORSYTH 33 (GUEST SUITE A & PERSONAL ENSUITE)	JOB NO. 0028376		
FACADE HAMPTON (ADVANTAGE SERIES)	HAND RH		
MASTER AND-33694	DWG NO. AND-38618	PAGE NO. 12 OF 14	

a&n			
25-27 SOLENT CIRCUIT, NORMAN - LEVEL 2 SUITE 205 - MACARTHUR POINT PHONE: 02 8524 3533 WWW.ANDDESIGN.COM.AU			
ISSUE	DATE	REVISION	DRAWN
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C	28.1.24	BASIX/AMEND	CS
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